

ORDINANCE 2015-05

AN ORDINANCE OF THE CITY OF LA FERIA, TEXAS ANNEXING CERTAIN AREAS ADJACENT TO THE CITY OF LA FERIA, TEXAS; EXTENDING THE BOUNDARIES AND EXTRATERRITORIAL JURISDICTION OF THE CITY OF LA FERIA, TEXAS, SO AS TO INCLUDE SAID ANNEXED AREA WITHIN THE CORPORATE LIMITS OF THE CITY OF LA FERIA, TEXAS; GRANTING TO SAID ANNEXED AREA AND ALL OWNERS AND INHABITANTS THEREOF ALL THE RIGHTS AND PRIVILEGES ACCORDED TO OTHER CITIZENS OF THE CITY OF LA FERIA, TEXAS BY VIRTUE OF SUCH ANNEXATION; BINDING SAID AREAS AND ALL OWNERS AND INHABITANTS THEREOF TO ALL THE ACTS, ORDINANCES, AND OTHER RULES OF THE CITY OF LA FERIA, TEXAS, BY VIRTUE OF SUCH ANNEXATION, AND ESTABLISHING AN EFFECTIVE DATE

WHEREAS, the City of La FERIA, Texas is a Home Rule Municipality formed pursuant to TEX. LOC. GOV'T. CODE § 9.001, et seq; and

WHEREAS, the City of La FERIA is authorized by TEX. LOC. GOV'T. CODE § 43.021 and by Section 1.04 of its City Charter to annex area and take other action regarding its boundaries; and

WHEREAS, the City of La FERIA previously annexed Blocks 1, 2 and 3 of Potter Subdivision, Cameron County, Texas, pursuant to Ordinance 2006-19; and

WHEREAS, the City of La FERIA has received a request for voluntary annexation and inclusion into the corporate limits of the City from the Rio Grande Valley Shrine Club of the Al Amin Temple A.A.O.N.M.S., the owner of, among other property previously annexed into the City, a 9.710 acre tract of land out of Block 4, Potter Subdivision, Cameron County, Texas, as more particularly described in Exhibit A attached hereto and made a part hereof; and

WHEREAS, TEX. LOC. GOV'T. CODE §43.055 exempts the acreage that is annexed into the corporate limits of the City through voluntary annexation from the maximum amount of acreage that can be annexed by a municipality in any year; and

WHEREAS, the area proposed to be annexed is contiguous and adjacent to the corporate limits of the City of La FERIA, Texas and is within the extraterritorial jurisdiction of the City of La FERIA, Texas.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF LA FERIA, TEXAS, THAT:

SECTION 1. The City of La FERIA hereby annexes the property described in Exhibit A which is attached hereto and made a part hereof at the request of the property owner and hereby extends its boundaries and extraterritorial jurisdiction so as to include said annexed area within its corporate limits.

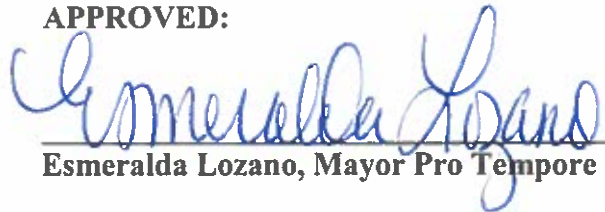
SECTION 2. The City of La Feria, Texas hereby grants to said annexed area and all owners and inhabitants thereof all the rights and privileges accorded to other citizens of the City of La Feria, Texas by virtue of said area having been annexed, and binds said area and all owners and inhabitants thereof to all the acts, ordinances and other rules of the City of La Feria, Texas applicable to them by virtue of said area having been annexed.

SECTION 3. The City Manager or his designated representative is hereby directed to file a certified copy of this ordinance with all appropriate agencies, as required by state or federal law.

SECTION 4. This Ordinance shall become effective immediately upon adoption.

PASSED AND APPROVED BY THE LA FERIA CITY COMMISSION ON THIS THE 26th DAY OF MAY, 2015.

APPROVED:



Esmeralda Lozano, Mayor Pro Tempore

ATTEST:



Olga Oberwetter, City Secretary

APPROVED AS TO FORM:



Richard S. Talbert, City Attorney

**CITY OF LA FERIA
ORDINANCE NO. 2015-05**

EXHIBIT A

DESCRIPTION OF PROPERTIES PROPOSED FOR ANNEXATION

9.710 acres out of Block 4, Potter Subdivision, Cameron County, Texas, and being that portion of Block 4, Potter Subdivision which is contained within and a part of that certain 10.719 gross acres out of Blocks 3 and 4, Potter Subdivision, Cameron County, Texas, which 10.719 acres is more particularly described by metes and bounds as follows to-wit:

Beginning at the Southwest corner of Block 4, Potter Subdivision, as shown on the map thereof recorded in Volume 3, Page 15, of the Map Records of Cameron County, Texas;

Thence along the west line of Block 4, N 00° 37' W, a distance of 493.0 feet to the northwest corner of Block 4;

Thence along the north line of Block 4, N 89° 23' E, a distance of 883.60 feet to the northeast corner of Block 4;

Thence along the east line of Block 4, S 00° 37' E, a distance of 374.27 feet to a point in the north right-of-way line of U.S. Expressway 83;

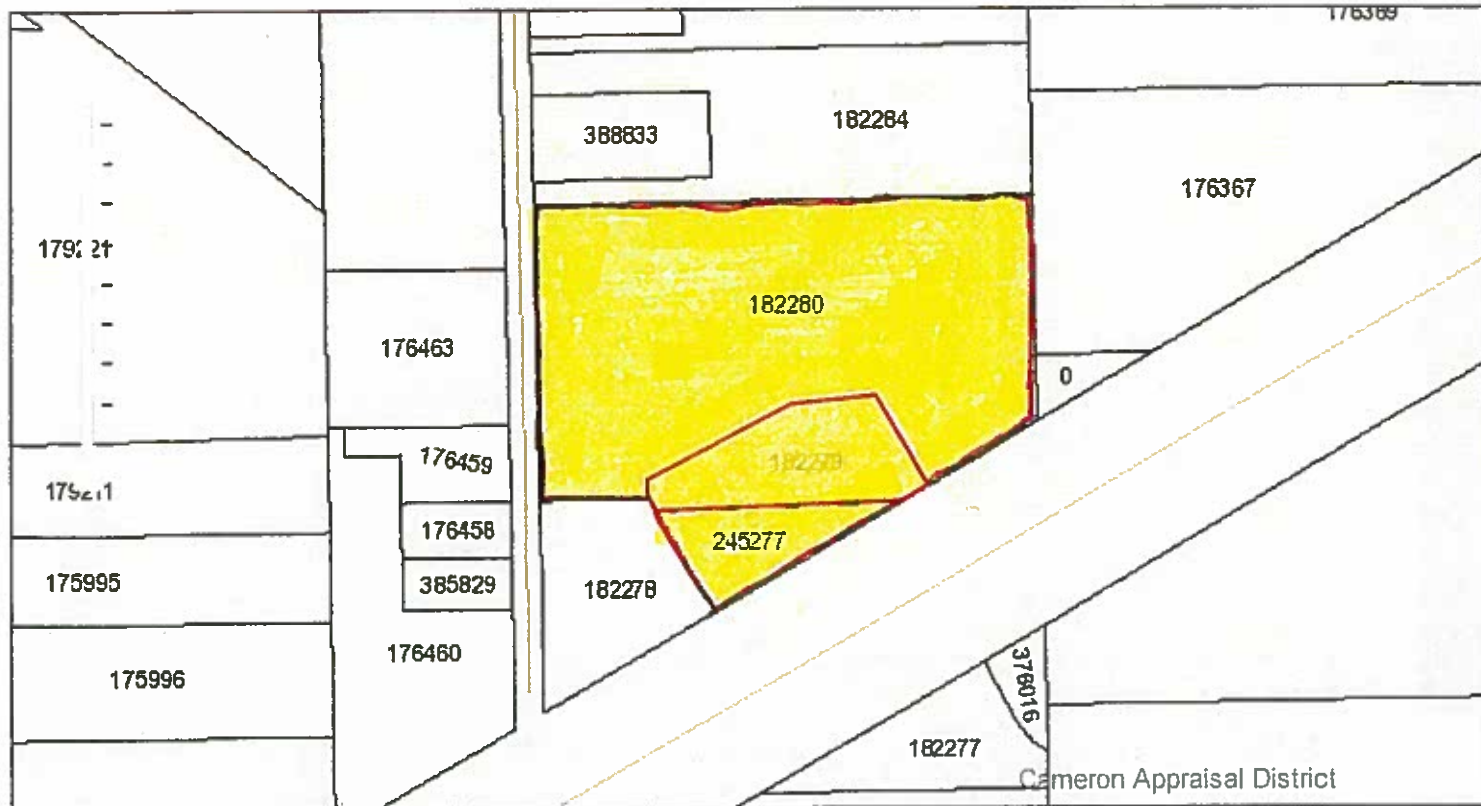
Thence along the north right of way line of U.S. Expressway 83 S 60° 08' W, a distance of 639.17 feet to a point;

Thence N 29° 52' W, a distance of 221.87 feet to a point in the south line of Block 4;

Thence along the South line of Block 4, S 89° 23' W, a distance of 217.51 feet to the point of beginning.

CAMERON APPRAISAL DISTRICT

Printable Map of Property: 182279 For Year: 2015



Property Details

Property Id: 182279
Geo. Id: 85-8190-0030-0350-00
Property Type: Real
Property Address: 13415 EXPRESSWAY 83
Owner Name: RIO GRANDE VALLEY SHRINE CLUB
Owner Address: AL AMIN TEMPLE A A O N M S
 13415 E Expressway 83
 La Feria, TX, 78559-4723
Legal Description: POTTER SUBDIVISION ABST 10 1.573 ACRES OF BLKS 3 & 4
Appraised Value: 433082
Mapsc0:
Jurisdictions: ILA, SST, GCC, SES, CAD, TR2

Values for 2015

(+) Improvement Homesite Value:	+	\$0.00	
(+) Improvement Non-Homesite Value:	+	\$376,454.00	
(+) Land Homesite Value:	+	\$0.00	
(+) Land Non-Homesite Value:	+	\$56,628.00	<u>Ag / Timber Use Value</u>
(+) Agricultural Market Valuation:	+	\$0.00	\$0.00
(+) Timber Market Valuation:	+	\$0.00	\$0.00

(=) Market Value:	=	\$433,82.00	
(-) Ag or Timber Use Value Reduction:	-		

(=) Appraised Value:	=	\$433,82.00	
(-) HS Cap:	-	\$0.00	

(=) Assessed Value:	=	\$433,82.00	

DISCLAIMER: The Cameron Appraisal District does not warrant the accuracy, completeness or intended use of the information contained in this document.

Rio Grande Valley Shrine Club

KCD
5/8/15
AmO

George A. Green, President 573-737-2463
Martin Garcia, Vice President 956-975-0046
Howard Woolley 2nd Vice President 609-602-3875
James D. Foster, Treasurer, 956-797-4923
Frank McMullen Immed. Past President 956-230-1918
E-mail: rgvsci@yahoo.com



Wesley L. Wright
Secretary
13415 US 83 Expressway
LaFeria, TX 78559
Club Phone 956-797-1524
Home Phone 956-532-4426

May 7, 2015

La Feria City of

115 E. Commercial Ave

La Feria, Texas 78559

City of La Feria:

It was our impression that all of our property located at 13415 US 83 Expressway, La Feria, Texas was inside the city limits when it was annexed. It has come to our attention that it is not true, therefore we would like to request that our 10.715 gross acres be annexed into the city of La Feria, with the understanding that our four RV hook-ups be Grandfather in.

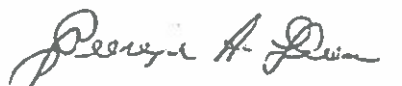
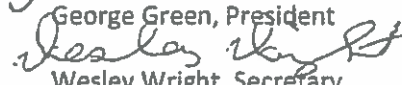
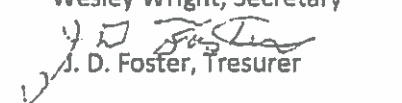
The RV hook-ups are located next to our handicap restrooms. The handicap restrooms were build in 2006-2007 and were put in service June 2007. The county inspected our construction close because the restrooms were for use mainly by our handicap children at our clinics.

We have attached a copy of our Warranty Deed and a legal description of our property, that I understand is located in Block 3 and 4.

Thank you in advance for your attention in this matter. I can be reach at 956-454-8023, J.D. Foster.

With kind regards

I remain,


George Green, President

Wesley Wright, Secretary

J. D. Foster, Treasurer